

GENERAL NOTES:

1.

OWNER/DEVELOPER:
FAIRMOUNT UNIVERSITY REALTY TRUST, LLC
C/O JAMES SHEILY
2618 N. MORELAND
CLEVELAND, OH 44120
216-514-8700
2.

PLAN PREPARED BY:
ANDERSON & ASSOCIATES, INC.
C/O TREVOR M. KIMZEY
100 ARDMORE STREET
BLACKSBURG, VIRGINIA 24060
3.

PROPERTY INFORMATION:
CURRENT ZONING: GENERAL COMMERCIAL (GC)
CURRENT USE: COMMERCIAL/UNDEVELOPED
PROPOSED USE: COMMERCIAL
4.

THE CONTRACTOR SHALL FIELD VERIFY ALL
ELEVATIONS BEFORE STARTING CONSTRUCTION.
5.

THE EXISTING UNDERGROUND UTILITIES SHOWN
HEREON ARE BASED ON AVAILABLE INFORMATION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR
DETERMINING THE EXACT LOCATION OF ALL
UTILITIES BEFORE COMMENCING WORK AND FOR
ANY DAMAGES THAT OCCUR BY HIS FAILURE TO
LOCATE AND PRESERVE THESE UTILITIES. IF
DURING CONSTRUCTION THE CONTRACTOR SHOULD
ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN
ON THE PLANS, HE SHALL NOTIFY THE OWNER'S
REPRESENTATIVE AND TAKE NECESSARY AND
PROPER STEPS TO PROTECT THE UTILITY AND
ASSURE THE CONTINUANCE OF SERVICE.
6.

ANY DISCREPANCIES FOUND BETWEEN THE
DRAWINGS AND SITE CONDITIONS OR ANY
INCONSISTENCIES OR AMBIGUITIES IN THE
DRAWINGS SHALL BE IMMEDIATELY REPORTED TO
THE OWNER'S REPRESENTATIVES, WHO SHALL
PROMPTLY CORRECT SUCH INCONSISTENCIES OR
AMBIGUITIES. WORK DONE BY THE CONTRACTOR
WITHOUT DIRECTION AFTER HIS DISCOVERY OF
SUCH INCONSISTENCIES OR AMBIGUITIES SHALL BE
DONE AT THE CONTRACTOR'S RISK.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR
ACQUIRING ALL NECESSARY PERMITS BEFORE ANY
CONSTRUCTION BEGINS. CONTRACTOR SHALL
NOTIFY MISS UTILITY, 800-552-7001, 72 HOURS
PRIOR TO ANY EXCAVATION.
8.

CONSTRUCTION MAY NOT BEGIN UNTIL ALL PLAN
APPROVALS FROM THE TOWN OF BLACKSBURG
HAVE BEEN RECEIVED.
9.

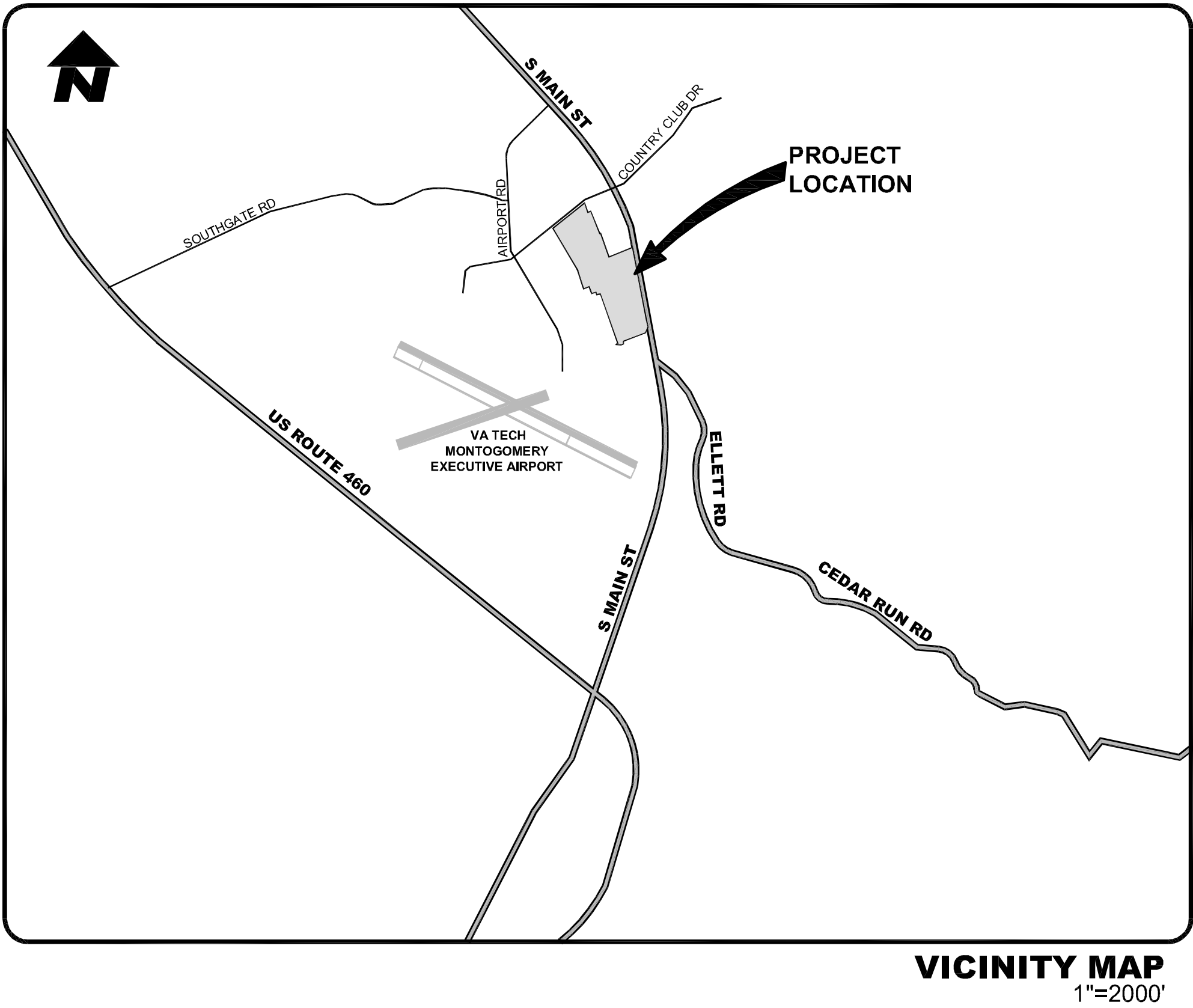
A PRE-CONSTRUCTION MEETING WILL BE HELD
PRIOR TO BEGINNING CONSTRUCTION.
10.

ALL ROOFTOP AND GROUND LEVEL MECHANICAL
EQUIPMENT WILL BE SCREENED IN ACCORDANCE
WITH THE TOWN CODE AND WILL NOT BE VISIBLE
FROM SURROUNDING PROPERTIES OR ROADS.
11.

NO DEED RESEARCH OF EXISTING UTILITY
EASEMENTS WAS DONE FOR THE PREPERATION OF
THESE PLANS. TO ASCERTAIN SUCH EASEMENT
INFORMATION IN FUTURE, RESEARCH OF PAST
PLANS, PLATS AND DEEDS MUST BE DONE.
12.

IF CONDITIONS ARE ENCOUNTERED DURING
CONSTRUCTION WHICH REQUIRE A VA WATER
PROTECTION PERMIT, THE OWNER/DEVELOPER
SHALL BE RESPONSIBLE FOR ADDRESSING THE
SITUATION AND OBTAINING ANY NECESSARY
PERMITS.

FIRST & MAIN
SOUTH MAIN STREET IMPROVEMENTS
BLACKSBURG, VIRGINIA



---	6"W	---	EXISTING WATER LINE
---	10"W	---	PROPOSED WATER LINE
---	10"FW	---	PROPOSED FIRE WATER LINE
---	GAS	---	PROPOSED GAS LINE
---		---	PROPOSED STORM SEWER
WM			PROPOSED WATER METER
			EXISTING MANHOLE
			PROPOSED MANHOLE
			PROPOSED CLEANOUT
			PROPOSED FIRE HYDRANT
			PROPOSED GATE VALVE
.....			LIMITS OF CONSTRUCTION
			BENCHMARK
			HORIZONTAL CONTROL POINT
			EXISTING STREET LIGHT
			EXISTING TELEPHONE PEDESTAL
			EXISTING UTILITY POLE
e			EXISTING OVERHEAD ELECTRIC
---	Uge	---	EXISTING U.G. ELECTRIC
---	Ugl	---	UNDERGROUND GAS LINE
---	Ugt	---	EXISTING U.G. TELEPHONE
WM			EXISTING WATER METER
			EXISTING TELEPHONE VAULT
			EXISTING WATER VALVE
---	X	---	EXISTING FENCE
			EXISTING SIGN
			EXISTING TREE
			EXISTING FIRE HYDRANT
---	OHP	---	EXISTING OVERHEAD POWER
			EXISTING POWER POLE
			AIR TRACK PROBE HOLE
			PROP. ASPHALT PAVEMENT
			PROP. CONCRETE

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ABBREVIATIONS

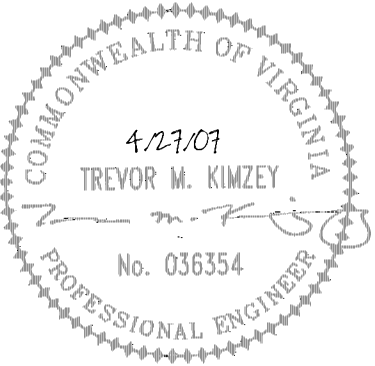
ARCH	ARCHITECT OR ARCHITECTURAL	PP	POWER POLE
BM	BENCHMARK	PROP	PROPOSED
CPP	CORRUGATED PLASTIC PIPE	PVC	POLYVINYL CHLORIDE PIPE
DI	DROP INLET	R/W	RIGHT-OF-WAY
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	SS	SANITARY SEWER
EX OR EXIST	EXISTING	ST	STORM
FF	FINISHED FLOOR	TPED	TELEPHONE PEDESTAL
FND	FOUND	TYP	TYPICAL
INV	INVERT	U/G OR UG	UNDERGROUND
MH	MANHOLE	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
MON	MONUMENT	VESCH	VIRGINIA EROSION & SEDIMENT
NIC	NOT IN CONTRACT		CONTROL HANDBOOK
O/H OR OH	OVERHEAD	W	WATER

CERTIFIED RESPONSIBLE LAND DISTURBER
FOR THE PURPOSES OF PLAN APPROVAL, TREVOR M. KIMZEY, PE, OF ANDERSON & ASSOCIATES, INC. WILL BE THE RESPONSIBLE LAND DISTURBER. UPON AWARD OF THE CONTRACT, THE CONTRACTOR SHALL DESIGNATE A PERSON WHO IS CERTIFIED BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION (DCR) AS A RESPONSIBLE LAND DISTURBER. THE TOWN OF BLACKSBURG AND ANDERSON & ASSOCIATES, INC. SHALL BE NOTIFIED IN WRITING TO TRANSFER THE RESPONSIBLE LAND DISTURBER.

OWNER/DEVELOPER

TOWN ENGINEER	DATE
TOWN PLANNER	DATE

OWNER / DEVELOPER'S STATEMENT	
THIS IS TO CERTIFY THAT THE HEREON SHOWN SITE DEVELOPMENT PLAN HAS BEEN PREPARED IN STRICT ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNERS / DEVELOPERS AND THAT ALL IMPROVEMENTS WILL BE CONSTRUCTED AS SHOWN.	
NAME	SIGNATURE
DATE	



ANDERSON & ASSOCIATES, INC.
Professional Design Services
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VA - NC - TN - WV

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